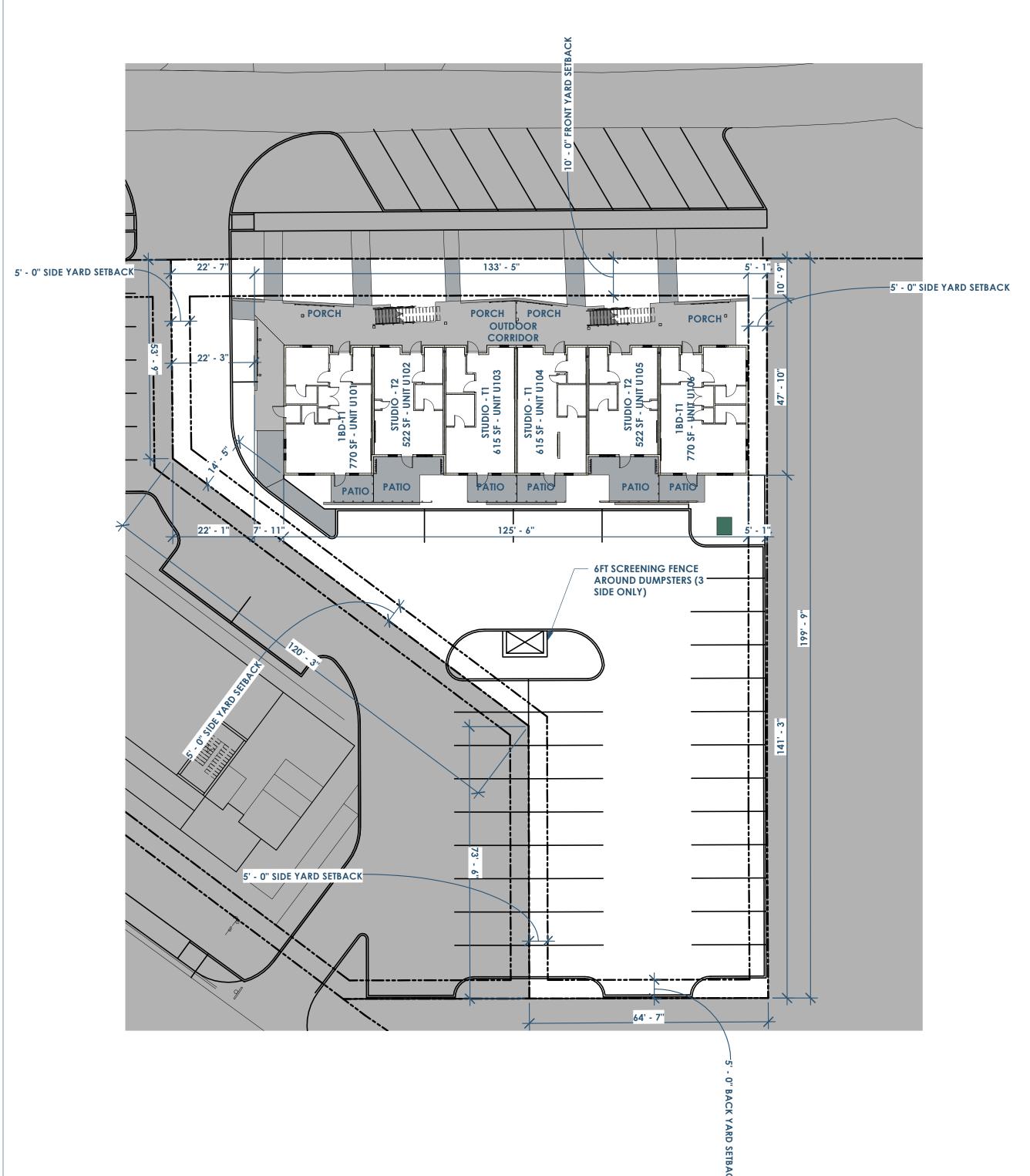
MARCO POLO - 101 W 33RD STREET

CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY



	CODE INFORMATION						
APPLICABLE CODES:	GENERAL:						
	BUILDING/DWELLING CODE IBC 2015 & AHJ AMENDMENTS EXISTING: ENERGY CONSERVATION: INTERNATIONAL ENERGY CONSERVATION CODE 2015 & AHJ AMENDMENTS						
	PLUMBING: MECHANICAL:						
	MECHANICAL CODE IMC 2015 & AHJ AMENDMENTS ELECTRICAL: ELECTRICAL CODE NEC 2017 & AHJ AMENDMENTS						
	FIRE: • FIRE/LIFE SAFETY CODE 2009 NFPA-1 & AHJ AMENDMENTS ACCESSIBILITY:						
	ANSI STANDARD A117.1-2009- FOR ACCESSIBILITY FUEL:						
CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION:	• INTERNATIONAL FUEL GAS CODE 2015 & AHJ AMENDMENTS 310.4 RESIDENTIAL GROUP R-2						
SECTION 420 GROUPS I-1, R-1, R-2, R-3 AND R-4	SECTION 420 GROUPS R-2 • FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708 • HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.						
CHAPTER 5 CLASSIFICATION OF WORK:	NEW						
504.3 HEIGHT IN FEET	R-2 – TYPE VB (SPRINKLERED): • ACTUAL: 35FT						
504.4 NUMBER OF STORIES	ALLOWED: 60FT R-2 – TYPE VB (SPRINKLERED): ACTUAL: 3						
506.2 ALLOWABLE AREA	• ALLOWED: 4 • TABULAR PER FLOOR AREA LIMIT PER CHAPTER 5 = 7000 SQ.FT.						
DETERMINATION & 506.3 FRONTAGE INCREASE:	 ALLOW HEIGHT = 60 FT; ALLOW STORIES = 3 NFPA 13 SPRINKLERS COMPUTE AREA INCREASE DUE TO FRONTAGE: FRONTAGE COEFFICIENT, IF 0.589 						
	PERIMETER, P 354 FT FRONTAGE' PERIMETER, F 306 FT WEIGHTED AVERAGE DISTANCE FROM IT! = 220 75 FT						
	 WEIGHTED AVERAGE DISTANCE FROM 'F' = 228.75 FT COMPUTE ALLOWABLE PER STORY AREA, AA = AT +(NS X IF) = 25120.94 SQ.FT. MAXIMUM ALLOWABLE AREA = AA X 3 = 75362.83 SQ.FT. 						
	MAXIMUM NUMBER OF STORIES FOR GROUP R WITH NFPA 13R SPRINKLERS, PER SEC. 903.3.1.2.TH CRITERIA IS MET, SO STORY LIMIT = 3 THE REVISED ALLOWABLE HEIGHT IS 60 FT.						
	ACTUAL • (ALL FLOORS): 16,826SF						
508.3 NONSEPARATED	• FLOORS: 3 N/A						
OCCUPANCIES: 508.4 SEPARATED OCCUPANCIES	N/A						
TABLE 601 FIRE-RESISTANCE RATING	FOR TYPE VB STRUCTURAL FRAME: 0 HR						
REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)	BEARING WALLS- EXTERIOR: 0 HR BEARING WALLS-INTERIOR: 0 HR NON-BEARING WALLS-EXTERIOR – (SEE TABLE 602) NON-BEARING WALLS-INTERIOR: 0 HR FLOOR CONSTRUCTION: 0 HR						
TABLE 602	ROOF CONSTRUCTION: 0 HR TYPE-VB						
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	• X < 5C = 1 HR • 5 ≤ X ≤ 10 = 1 HR						
708.3 FIRE-RESISTANCE RATING	• 10 ≤ X ≤ 30 = 0 HR • X ≥ 30 = 0 HR CORRIDORS: 1/2HR RATED						
	DWELLING UNIT AND SLEEPING UNIT SEPARATIONS: 1/2HR RATED						
711.2.4.3 DWELLING UNITS AND SLEEPING UNITS 803.11 INTERIOR FINISH	FOR SPRINKLERED R-2:						
REQUIREMENTS BASED ON GROUP	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS: CLASS C CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS: CLASS C ROOMS AND ENCLOSED: CLASS C						
SPRINKLERS (SECTION 903 AUTOMATIC SPRINKLER SYSTEMS):	NFPA13 SPRINKLER THROUGHOUT PROJECT (R-2)						
SECTION 1020 CORRIDORS	CORRIDORS: 1/2HR RATED SEE SECTION 1021 EGRESS BALCONIES FOR CORRIDOR RATING AT EXTERIOR WALL						
SECTION 1004 OCCUPANT LOAD	TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT						
1006.2.1 EGRESS BASED ON	RESIDENTIAL: 200 GROSS FOR R-2						
OCCUPANT LOAD AND COMMON PATH OF EGRESS TRAVEL DISTANCE: SECTION 1017 EXIT ACCESS TRAVEL	MAXIMUM COMMON PATH WITH SPRINKLER SYSTEM: 125FT MAXIMUM OCCUPANT LOAD OF SPACE WITH ONE EXIT: 49 FOR R-2: 250 (W/SPRINKLER)						
DISTANCE: 1020.4 DEAD ENDS: SECTION 1021 EGRESS BALCONIES	50FT (WITH NFPA13 SPRINKLERS) EXTERIOR EGRESS BALCONIES SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY WALLS						
	AND OPENING PROTECTIVES AS REQUIRED FOR CORRIDORS. SECTION 1020 CORRIDORS 1020.1 CONSTRUCTION						
	CORRIDORS SHALL BE FIRE-RESISTANCE-RATED IN ACCORDANCE WITH TABLE 1020.1. THE CORRIDOR WALLS REQUIRED TO BE FIRE-RESISTANCE-RATED SHALL COMPLY WITH SECTION 708 FOR FIRE PARTITIONS.						
	EXCEPTIONS: CORRIDORS ADJACENT TO THE EXTERIOR WALLS OF BUILDINGS SHALL BE PERMITTED TO HAVE UNPROTECTED OPENINGS ON UNRATED EXTERIOR WALLS WHERE UNRATED WALLS ARE PERMITTED B TABLE 602 AND UNPROTECTED OPENINGS ARE PERMITTED BY TABLE 705.8.						
2902.1 MINIMUM NUMBER OF FIXTURES	CLASSIFICATION & OCCUPANCY:						
	R-2						
	WATER CLOSETS: 1 PER DWELLING LAVATORIES: 1 PER DWELLING						

• BATHTUBS/ SHOWERS: 1 PER DWELLING

GENERAL NOTES	
 GENERAL CONTRACTOR RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PERMITS, APPLICATIONS, TAXES, AND CERTIFICATES OF INSPECTIONS. 	She
 ANY CONSTRUCTION THAT DEVIATES FROM THE DRAWING IS UNAUTHORIZED, IF 	G00
NOT AUTHORIZED BY THE ARCHITECT. IN SUCH AN EVENT, CONTRACTOR IS RESPONSIBLE FOR ANY REWORK THAT MIGHT BE REQUIRED.	G00
CONTRACTOR IS RESPONSIBLE FOR ALL THE RULES/REGULATIONS OF THE	\$0.0
AUTHORITY HAVING JURISDICTION. INCLUDED, BUT NOT LIMITED TO ALL CITY,	\$0.0
TOWNSHIP, COUNTY, STATE, AND FEDERAL CODES, STATUTES, AND ORDINANCES.	\$0.1
CONTRACTORS SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO DETERMINE	\$0.1
HOW NEW CONSTRUCTION IS COMPATIBLE WITH EXISTING CONDITIONS. • CONTRACTOR TO NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS, CONFLICTS,	\$0.2
OR DISCREPANCIES IN THE DRAWINGS BEFORE ANY CONSTRUCTION TAKES PLACE.	\$0.3
A FAILURE TO SO WILL RESULT IN THE CONTRACTOR RESPONSIBLE FOR ANY	\$0.4
REWORK.	\$3.0
CONTRACTOR RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND TAKEOFFS BEFORE BIDDING AND/OR ORDERING MATERIALS. CONTRACTOR WILL NOTIFY	\$3.1
ARCHITECT IF THERE ANY DRAWING CONFLICTS AND AWAIT DIRECTION BEFORE	\$4.0
COMMENCING.	\$4.1
• DO NOT SCALE THE DRAWINGS.	\$4.2
 ALL THROUGH AND MEMBRANE PENETRATIONS AT ALL FIRE/SMOKE RATED PARTITIONS/CEILINGS/FLOORS TO BE SEALED WITH A CODE COMPLIANT, U.L. 	\$4.3 \$4.4
APPROVED FIRE STOP.	\$4.5
GENERAL CONTRACTOR TO COORDINATE THE SIZE/LOCATION OF ANY ACCESS	A10
PANELS AND/OR CLEAN OUTS WITH THE M/E/P CONTRACTOR AND ARCHITECT.	A10
ALL CONTRACTORS AND VENDORS TO FAMILIARIZE THEMSELVES WITH THE ENTIRE	A10
DRAWING SET, AS REQUIRED INFORMATION MAY BE ON MULTIPLE SHEETS AND ALTERNATE DISCIPLINES.	A10
ANY FURNITURE SHOWN IS FOR REFERENCE AND IS NOT IN THE CONTRACTOR.	A15
• CONTRACTORS SHALL BE RESPONSIBLE FOR REPAIRING ANY PROPERTY DAMAGE	A20
THAT MAY HAVE RESULTED FROM THEIR WORK.	A20
OWNER RESPONSIBLE FOR ANY WORK NOT SPECIFICALLY CALLED OUT IN THE DRAWINGS.	A30
ANY CHANGE THAT RESULTS IN ADDITIONAL COST/TIME MUST TO APPROVED BY	A30
THE OWNER/ARCHITECT PRIOR TO CONSTRUCTION.	A30
• DETAILS ARE TO BE INTERPRETED AS TYPICAL. THAT IS, UNLESS SPECIFICALLY	A30
CALLED OUT OTHERWISE, THE DETAIL IS TO BE APPLIED TO SIMILAR CONDITIONS	A40
THROUGHOUT THE PROJECT. • ALL EXTERIOR FLATWORK AROUND THE BUILDING TO SLOPE A MINIMUM OF 2%	A40
AWAY FROM THE BUILDING.	A40 A41
ANY PENETRATIONS IN THE EXTERIOR ENVELOPE TO BE SEALED TO PREVENT ANY	A41
AIR/WATER LEAKAGE PER IBC CODE REQUIREMENTS.	A41
 ALL FINISH AND COLOR SELECTIONS TO BE VERIFIED WITH ARCHITECT UNLESS OTHERWISE NOTED, SLOPE FLOOR 2% TOWARD ANY DRAINS INDICATED 	A47
ON THE DRAWINGS.	A
CONTRACTOR SHALL KEEP THE CONSTRUCTION CLEAN-REMOVING ANY	A47
ACCUMULATION OF DEBRIS AND/OR UNUSED EQUIPMENT.	
 CONTRACTOR TO BE RESPONSIBLE FOR THE COLLECTION, TRANSPORT AND DISPOSAL OF ALL CONSTRUCTION WASTE. 	A47
CONTRACTORS RESPONSIBLE FOR ANY TEMPORARY SHORING THAT MIGHT BE	A50
NECESSARY DURING CONSTRUCTION. ALL SHORING TO BE DESIGNED BY A	A50
LICENSED STRUCTURAL ENGINEER RETAINED BY THE CONTRACTOR.	A50
 GENERAL CONTRACTOR TO VERIFY WITH THE M/E/P CONTRACTORS ALL PIPE/DUCT LOCATION PRIOR TO FRAMING. 	A50 A50
MANUFACTURED MATERIAL/EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S	A50
REQUIREMENTS.	A50
CONTRACTOR TO PROTECT ANY EXPOSED CONCRETE THAT IS MEANT TO BE A	A60
FINISHED SURFACE.	A61
 GENERAL CONTRACTOR TO PROVIDE ARCHITECT AT LEAST (2) WEEKS WHEN REVIEWING ANY SHOP DRAWINGS AND/OR SUBSTITUTION REQUESTS. 	A61
REVIEW OF SHOP DRAWINGS DOES NOT CONSTITUTE THE APPROVAL OF SAFETY	A61
REQUIREMENTS AND/OR CONSTRUCTION MEAN AND METHODS.	A61
THE PRESENCE OF THE ARCHITECT ON SITE DOES NOT CONSTITUTE APPROVAL OF THE WORK THE CONTRACTOR SHALL CALL THE ARCHITECTURE.	A61
THE WORK. THE CONTRACTOR SHALL CALL THE ARCHITECT'S ATTENTION TO ANYTHING SPECIFICALLY NEEDS THE ARCHITECT'S APPROVAL.	A61
ONLY ARCHITECTURAL AND STRUCTURAL DRAWINGS HAVE BEEN COORDINATED	A61
WITH THE ARCHITECT. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY WORK	A61
OUTSIDE THESE SCOPES (M/E/P, FOR EXAMPLE) THAT INTERFERES WITH THIS	A75
ARCH/STRUCT DRAWING SET. GENERAL CONTRACTOR TO EDUCATE THE OWNER ON THE OPERATION AND	A80

GENERAL CONTRACTOR TO EDUCATE THE OWNER ON THE OPERATION AND

• PRIOR TO SUBSTANTIAL COMPLETION, THE CONTRACTOR SHALL CLEAN SITE AND DELIVER ALL REQUIRED GUARANTEES, LIEN WAITERS AND MAINTENANCE MANUALS • ARCHITECT NOT RESPONSIBLE FOR THE EXPLORATION, PRESENCE, HANDLING, AND/OR ADVERSE EXPOSURE OF ANY HAZARDOUS MATERIALS, IN ANY FROM. INCLUDING, BUT NOT LIMITED TO ASBESTOS PRODUCTS, POLYCHLORINATED

MAINTENANCE OF ALL INSTALLED PRODUCT AND/OR EQUIPMENT.

• ALL EXTERIOR STRUCTURAL STEEL SHALL BE HOT DIPPED GALVANIZED. ALL

• THE CONTRACTOR TO PROVIDE ALL THE NECESSARY BLOCKING AND/OR STRUCTURAL SUPPORT REQUIRE TO PROPERLY INSTALL MOUNTED ASSEMBLIES, INCLUDED BY NOT LIMITED TO GRAB BARS, PLUMBING FIXTURES, MILLWORK AND

NOTCHING, DRILLING, WELDING AND BENDING DONE PRIOR TO DIPPING. • ANY PRODUCT OR MATERIALS THAT ARE NOT CALLED OUT IN THE DRAWINGS, BUT REQUIRED FOR PROPER INSTALLATION AND PERFORMANCE OF THE WORK, SHALL

BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.

MAINTAIN INGRESS AND EGRESS TO THE PROJECT SITE.

BE PROVIDED BY THE CONTRACTOR.

Sheet_Number	Sheet_Name	Sheet_Last_Issue_Date
G000	COVER	06/10/22 – Issued for Permit
G001	CODE & LIFE SAFETY	06/10/22 – Issued for Permit
\$0.0	TYPICAL GENERAL NOTES	06/10/22 – Issued for Permit
\$0.01	STATEMENT OF SPECIAL INSPECTIONS	06/10/22 – Issued for Permit
SO.1	FOUNDATION PLAN	06/10/22 – Issued for Permit
\$0.1A	FOUNDATION NOTES AND 3D	06/10/22 – Issued for Permit
<u>\$0.2</u>	FRAMING PLAN - 2ND FLOOR	06/10/22 – Issued for Permit
\$0.3 \$0.4	FRAMING PLAN - 3RD FLOOR FRAMING PLAN - ROOF	06/10/22 – Issued for Permit
\$3.0	FOUNDATION DETAILS	06/10/22 – Issued for Permit 06/10/22 – Issued for Permit
\$3.1	FOUNDATION DETAILS	06/10/22 – Issued for Permit
\$4.0	TYPICAL WOOD FRAMING DETAILS	06/10/22 – Issued for Permit
\$4.1	TYPICAL WOOD FRAMING WALL DETAILS	06/10/22 – Issued for Permit
\$4.2	TYPICAL WOOD FLOOR TRUSS DETAILS	06/10/22 – Issued for Permit
\$4.3	TYPICAL WOOD FRAMING LATERAL DETAILS	06/10/22 – Issued for Permit
\$4.4	TYPICAL WOOD ROOF TRUSS DETAILS	06/10/22 – Issued for Permit
\$4.5	TYPICAL STEEL DETAILS	06/10/22 – Issued for Permit
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A102	FLOOR PLAN - 2ND	06/10/22 – Issued for Permit
A103	FLOOR PLAN - 3RD	06/10/22 – Issued for Permit
A104	FLOOR PLAN - ROOF	06/10/22 – Issued for Permit
A150	REFLECTED CEILING PLANS	06/10/22 – Issued for Permit
A200	BUILDING ELEVATION - NORTH/WEST	06/10/22 – Issued for Permit
A201	BUILDING SECTIONS	06/10/22 – Issued for Permit
A300 A301	BUILDING SECTIONS BUILDING SECTIONS	06/10/22 – Issued for Permit 06/10/22 – Issued for Permit
A301 A302	BUILDING SECTIONS BUILDING SECTIONS	06/10/22 – Issued for Permit
A303	BUILDING SECTIONS	06/10/22 – Issued for Permit
A400	WALL SECTIONS	06/10/22 – Issued for Permit
A401	WALL SECTIONS	06/10/22 – Issued for Permit
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A410	STAIR SECTIONS	06/10/22 – Issued for Permit
A411	STAIR SECTIONS	06/10/22 – Issued for Permit
A412	STAIR SECTIONS	06/10/22 – Issued for Permit
A470	UNIT PLANS - STUDIOS - LONG AND SHORT - (TYPE	06/10/22 – Issued for Permit
A471	B ADA UNIT - 1ST FLOOR ONLY) UNIT PLANS - (TYPE A ADA UNIT - 1ST FLOOR ONLY)	06/10/22 – Issued for Permit
A472	UNIT PLANS - 1BD - END UNITS	06/10/22 – Issued for Permit
A500	LARGE SCALE DETAILS	06/10/22 – Issued for Permit
A501	LARGE SCALE DETAILS	06/10/22 – Issued for Permit
A502	LARGE SCALE DETAILS	06/10/22 – Issued for Permit
A503	LARGE SCALE DETAILS	06/10/22 – Issued for Permit
A504	LARGE SCALE DETAILS	06/10/22 – Issued for Permit
A505	LARGE SCALE DETAILS	06/10/22 – Issued for Permit
A506	LARGE SCALE DETAILS	06/10/22 – Issued for Permit
A600	SCHEDULES	06/10/22 – Issued for Permit
A610	WALL -FIRE RATED ASSEMBLY DETAIL -U341	06/10/22 – Issued for Permit
A611	WALL -FIRE RATED ASSEMBLY DETAIL -U305	06/10/22 – Issued for Permit
A612	FLOOR -FIRE RATED ASSEMBLY DETAIL -L521	06/10/22 – Issued for Permit
A613 A614	FLOOR -FIRE RATED ASSEMBLY DETAIL -L521 CONT. FIRE STOP DETAILS -FLOOR	06/10/22 – Issued for Permit
A614 A615	FIRE STOP DETAILS -FLOOR	06/10/22 – Issued for Permit
A616	FIRE STOP DETAILS -FLOOR	06/10/22 – Issued for Permit
A617	FIRE STOP DETAILS - WALLS	06/10/22 – Issued for Permit
A751	ADA -TYPE A AND B	06/10/22 – Issued for Permit
A800	PARTITION DETAILS - WOOD STUDS	06/10/22 – Issued for Permit
P100	PLUMBING PLAN TYPICAL UNIT	06/10/22 – Issued for Permit
P101	PLUMBING PLAN 1ST FLOOR	06/10/22 – Issued for Permit
P102	PLUMBING PLAN 2ND FLOOR	06/10/22 – Issued for Permit
P103	PLUMBING PLAN 3RD FLOOR	06/10/22 – Issued for Permit
P104	PLUMBING PLAN ROOF	06/10/22 – Issued for Permit
P200	PLUMBING RISERS	06/10/22 – Issued for Permit
P201	PLUMBING DETAILS	06/10/22 – Issued for Permit
P300	PLUMBING NOTES & SCHEDULES	06/10/22 – Issued for Permit
MEP100	MEP SITE PLAN	06/10/22 – Issued for Permit
MEP101 M100	SITE LIGHTING LEVELS MECHANICAL PLAN TYPICAL UNIT	06/10/22 – Issued for Permit 06/10/22 – Issued for Permit
M100 M101	MECHANICAL PLAN 15T FLOOR	06/10/22 – Issued for Permit
M102	MECHANICAL PLAN 131 FLOOR	06/10/22 – Issued for Permit
M103	MECHANICAL PLAN 3RD FLOOR	06/10/22 – Issued for Permit
M104	MECHANICAL PLAN ROOF	06/10/22 – Issued for Permit
M200	MECHANICAL DETAILS	06/10/22 – Issued for Permit
M300	MECHANICAL NOTES & SCHEDULES	06/10/22 – Issued for Permit
E100	ELECTRICAL POWER PLAN TYPICAL UNIT	06/10/22 – Issued for Permit
E101	ELECTRICAL POWER PLAN 1ST FLOOR	06/10/22 – Issued for Permit
E102	ELECTRICAL POWER PLAN 2ND FLOOR	06/10/22 – Issued for Permit
E103	ELECTRICAL POWER PLAN 3RD FLOOR	06/10/22 – Issued for Permit
E104	ELECTRICAL POWER PLAN ROOF	06/10/22 – Issued for Permit
	ELECTRICAL LIGHTING PLAN TYPICAL UNIT	06/10/22 – Issued for Permit
	ELECTRICAL LIGHTING PLAN 1ST FLOOR	06/10/22 – Issued for Permit
E121		04/10/00 : :: -
E120 E121 E122	ELECTRICAL LIGHTING PLAN 2ND & 3RD FLOOR	06/10/22 – Issued for Permit
E121		06/10/22 – Issued for Permit 06/10/22 – Issued for Permit 06/10/22 – Issued for Permit

SHEET INDEX











102 E 26th St

COVER

MARCO POLO - 101 W 33RD STREET - CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY - BRYAN, TX 77803

Owner: Renovation Wranglers Bryan, TX 77803 Katieneason@me.com | 979.450.9969

ARCHITECTURE Architect of Record: LKB Architecture 2929 Allen Pkwy Suite 200 Houston, TX 77019 lisa@Ikbarchitecture.com | 713.425.3076

> DUDLEY Structural: Dudley 6102 Imperial Loop Drive College Station, TX 77845 (979) 777-0720



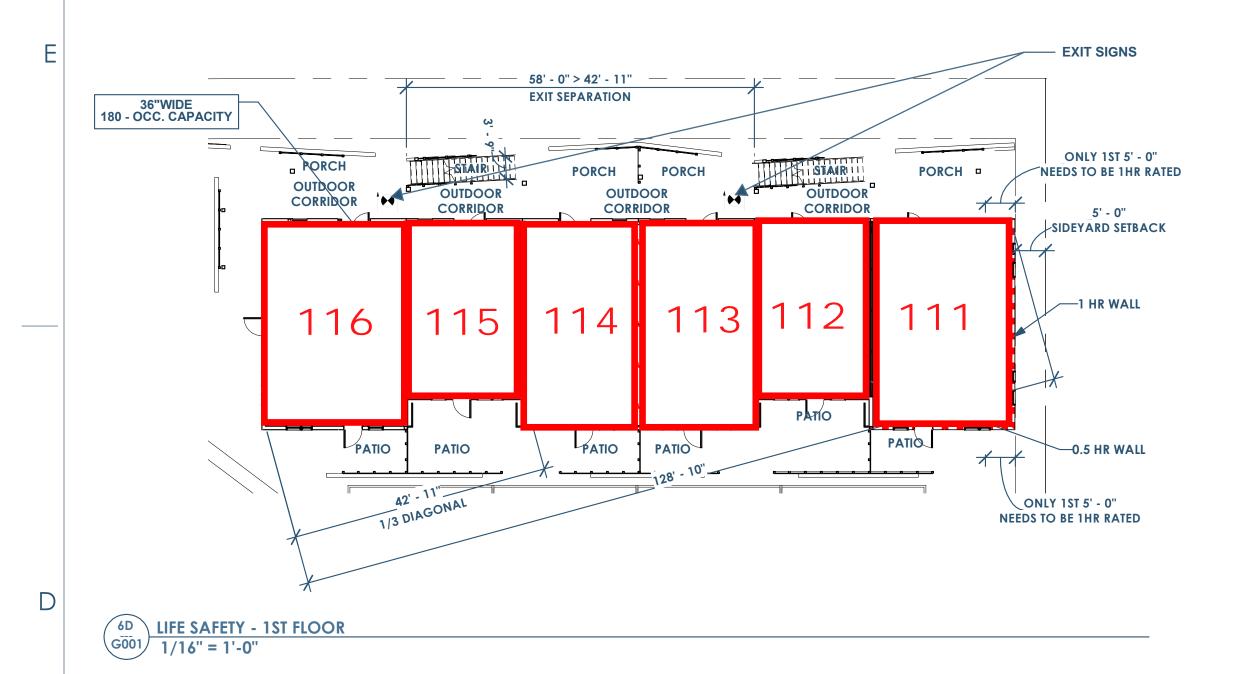
508 E Jackson St # 552 Burnet, TX 78611 info@amcengineers.com

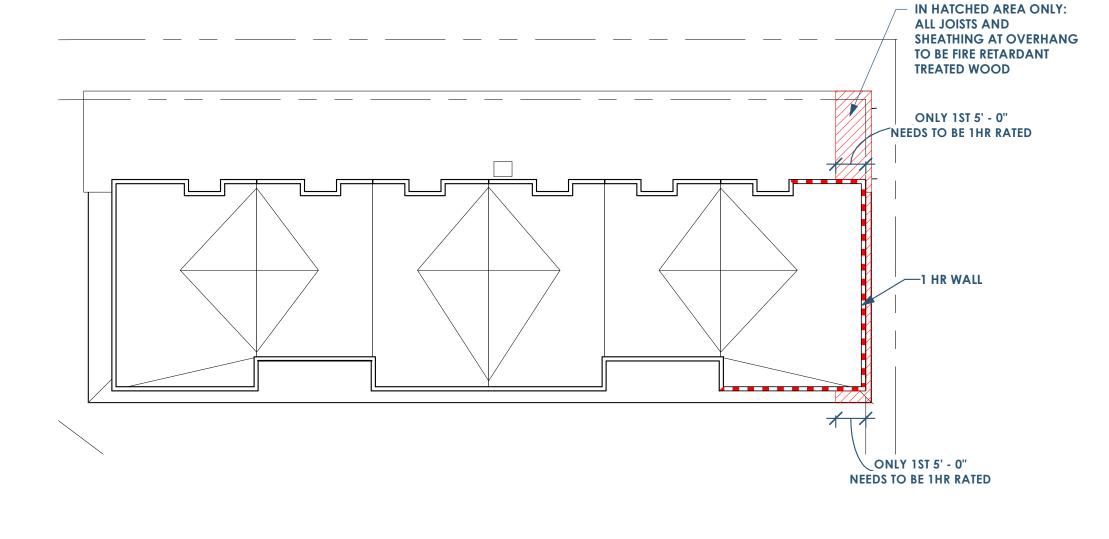


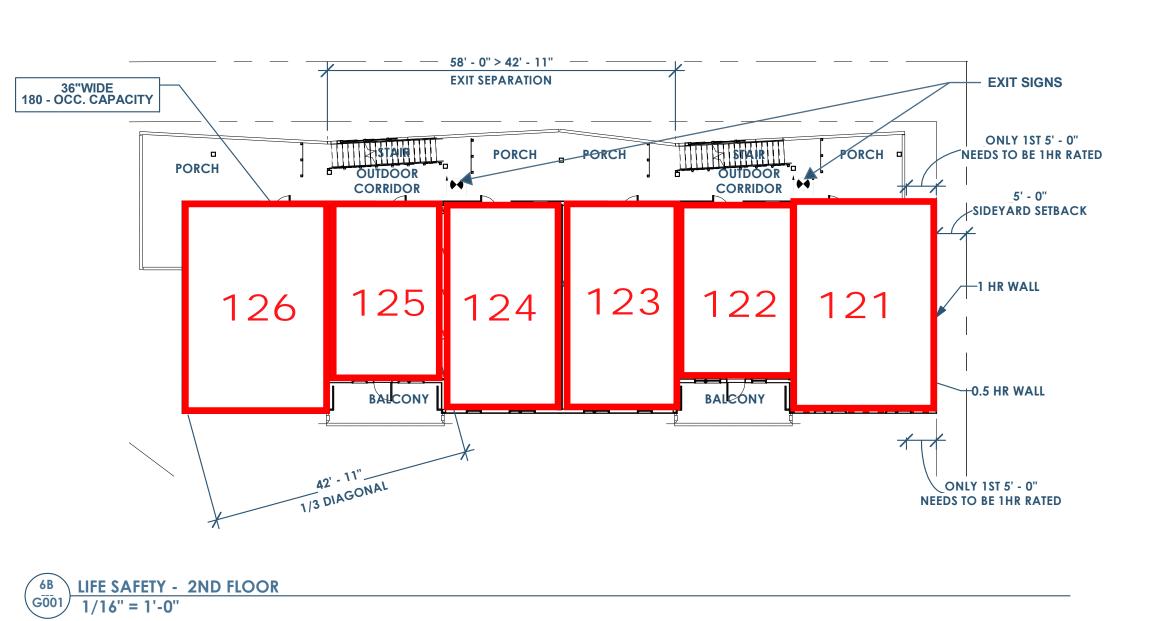
opening design Architect: OpeningDesign 17 S Fairchild | FL 7

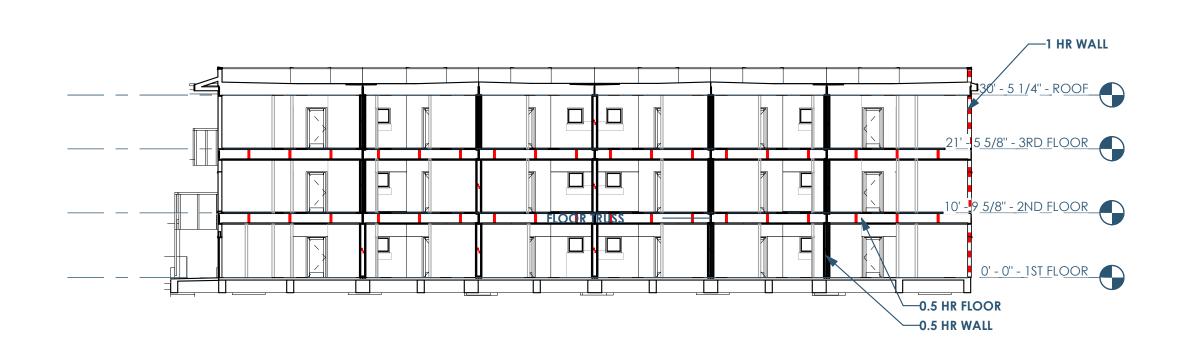
Madison, WI 53703 ryan@openingdesign.com | 773.425.6456 Description Issued for Permit

Main Address: 101 W 33rd Street



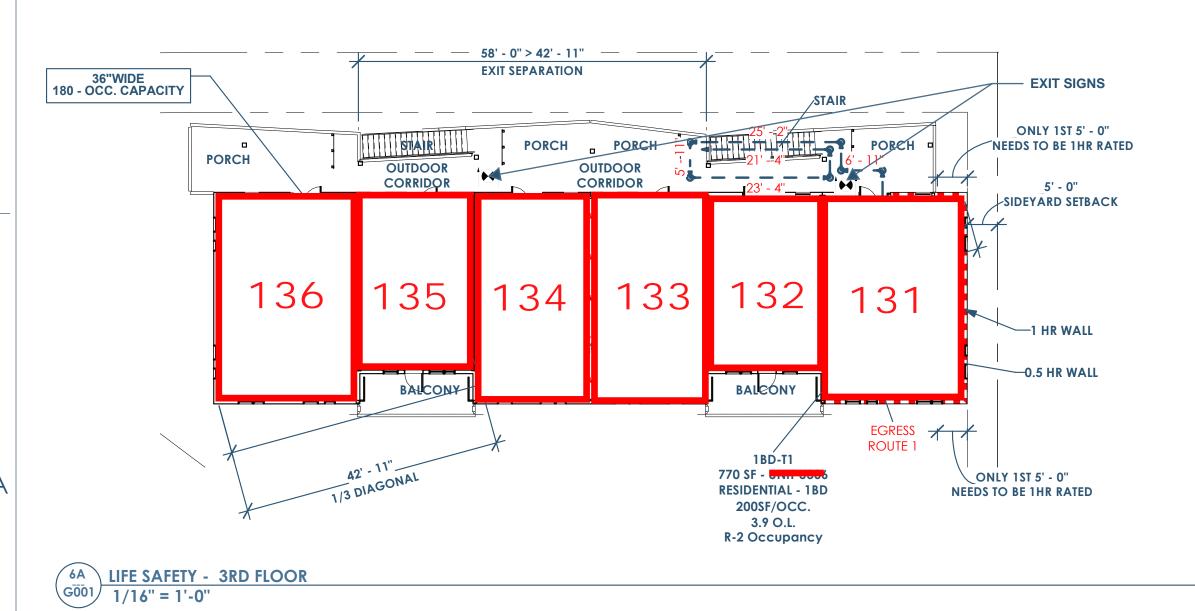


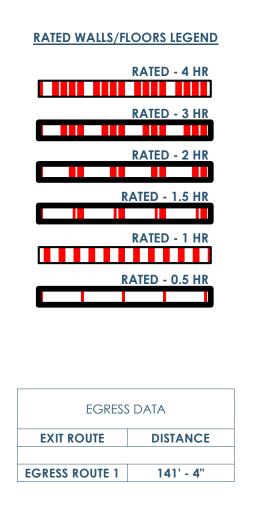




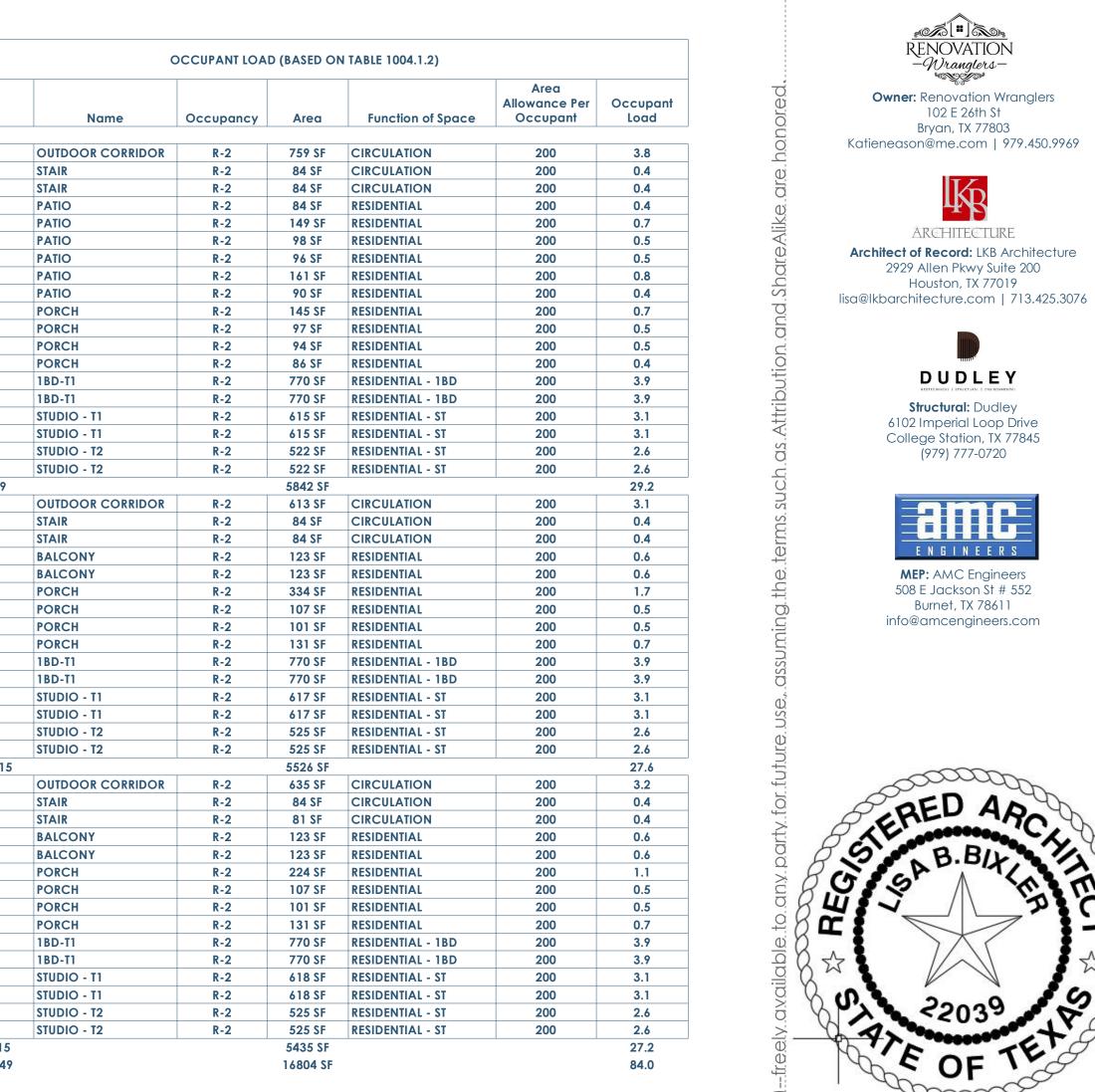
4D LIFE SAFETY - ROOF 1/16" = 1'-0"







Level	Name	Occupancy	Area	Function of Space	Area Allowance Per Occupant	Oc:
167 51000	OUTDOOR CORRIDOR	D 0	750.65	CIRCIII ATION	200	
1ST FLOOR	OUTDOOR CORRIDOR	R-2	759 SF	CIRCULATION	200	
1ST FLOOR	STAIR	R-2	84 SF	CIRCULATION	200	
1ST FLOOR	STAIR	R-2	84 SF	CIRCULATION	200	
1ST FLOOR	PATIO	R-2	84 SF	RESIDENTIAL	200	
1ST FLOOR	PATIO	R-2	149 SF	RESIDENTIAL	200	
1ST FLOOR	PATIO	R-2	98 SF	RESIDENTIAL	200	
1ST FLOOR	PATIO	R-2	96 SF	RESIDENTIAL	200	
1ST FLOOR	PATIO	R-2	161 SF	RESIDENTIAL	200	
1ST FLOOR	PATIO	R-2	90 SF	RESIDENTIAL	200	
1ST FLOOR	PORCH	R-2	145 SF	RESIDENTIAL	200	
1ST FLOOR	PORCH	R-2	97 SF	RESIDENTIAL	200	
1ST FLOOR	PORCH	R-2	94 SF	RESIDENTIAL	200	
1ST FLOOR	PORCH	R-2	86 SF	RESIDENTIAL	200	
1ST FLOOR	1BD-T1	R-2	770 SF	RESIDENTIAL - 1BD	200	,
1ST FLOOR	1BD-T1	R-2	770 SF	RESIDENTIAL - 1BD	200	
1ST FLOOR	STUDIO - T1	R-2	615 SF	RESIDENTIAL - ST	200	;
1ST FLOOR	STUDIO - T1	R-2	615 SF	RESIDENTIAL - ST	200	
1ST FLOOR	STUDIO - T2	R-2	522 SF	RESIDENTIAL - ST	200	
1ST FLOOR	STUDIO - T2	R-2	522 SF	RESIDENTIAL - ST	200	
1ST FLOOR: 19			5842 SF			2
2ND FLOOR	OUTDOOR CORRIDOR	R-2	613 SF	CIRCULATION	200	
2ND FLOOR	STAIR	R-2	84 SF	CIRCULATION	200	
2ND FLOOR	STAIR	R-2	84 SF	CIRCULATION	200	
2ND FLOOR	BALCONY	R-2	123 SF	RESIDENTIAL	200	
2ND FLOOR	BALCONY	R-2	123 SF	RESIDENTIAL	200	
2ND FLOOR	PORCH	R-2	334 SF	RESIDENTIAL	200	
2ND FLOOR	PORCH	R-2	107 SF	RESIDENTIAL	200	
2ND FLOOR	PORCH	R-2	101 SF	RESIDENTIAL	200	
2ND FLOOR	PORCH	R-2	131 SF	RESIDENTIAL	200	
2ND FLOOR	1BD-T1	R-2	770 SF	RESIDENTIAL - 1BD	200	
2ND FLOOR	1BD-T1	R-2	770 SF	RESIDENTIAL - 1BD	200	
2ND FLOOR	STUDIO - T1	R-2	617 SF	RESIDENTIAL - ST	200	
2ND FLOOR	STUDIO - T1	R-2		RESIDENTIAL - ST	200	
	STUDIO - T2		617 SF	RESIDENTIAL - ST	200	
2ND FLOOR		R-2	525 SF			- :
2ND FLOOR	STUDIO - T2	R-2	525 SF	RESIDENTIAL - ST	200	
2ND FLOOR: 15	OUTDOOR CORRIDOR	D 0	5526 SF	CIRCULATION	000	2
3RD FLOOR	OUTDOOR CORRIDOR	R-2	635 SF	CIRCULATION	200	;
3RD FLOOR	STAIR	R-2	84 SF	CIRCULATION	200	
3RD FLOOR	STAIR	R-2	81 SF	CIRCULATION	200	
3RD FLOOR	BALCONY	R-2	123 SF	RESIDENTIAL	200	
3RD FLOOR	BALCONY	R-2	123 SF	RESIDENTIAL	200	
3RD FLOOR	PORCH	R-2	224 SF	RESIDENTIAL	200	
3RD FLOOR	PORCH	R-2	107 SF	RESIDENTIAL	200	
3RD FLOOR	PORCH	R-2	101 SF	RESIDENTIAL	200	
3RD FLOOR	PORCH	R-2	131 SF	RESIDENTIAL	200	
3RD FLOOR	1BD-T1	R-2	770 SF	RESIDENTIAL - 1BD	200	
3RD FLOOR	1BD-T1	R-2	770 SF	RESIDENTIAL - 1BD	200	
3RD FLOOR	STUDIO - T1	R-2	618 SF	RESIDENTIAL - ST	200	
3RD FLOOR	STUDIO - T1	R-2	618 SF	RESIDENTIAL - ST	200	
3RD FLOOR	STUDIO - T2	R-2	525 SF	RESIDENTIAL - ST	200	
3RD FLOOR	STUDIO - T2	R-2	525 SF	RESIDENTIAL - ST	200	





Description Issued for Permit

CODE & LIFE SAFETY

MARCO POLO - 101 W 33RD STREET - CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY - BRYAN, TX 77803