



Ryan Schultz <theoryshaw@gmail.com>

Plan Review Comments - 101 W. 33rd Street

1 message

Lahde, Karen <klahde@bryantx.gov>

Thu, Jul 7, 2022 at 3:01 PM

To: "Lisa B. Bixler (lisa@lkbarchitecture.com)" <lisa@lkbarchitecture.com>

Cc: "Ryan Schultz (ryan.schultz@openingdesign.com)" <ryan.schultz@openingdesign.com>, Bryan Mock <bryan.mock@gmail.com>, "Adam Culver (adam.culver@amcengineers.com)"

<adam.culver@amcengineers.com>, Katie Neason <katieneason@me.com>, "Okeoghene Orieka

(oorieka@dudleydunham.com)" <oorieka@dudleydunham.com>, "Zimmermann, Martin"

<mzimmermann@bryantx.gov>, "Cox, Gregory" <gcox@bryantx.gov>, "Hovde, Lauren"

<lhovde@bryantx.gov>

Lisa –

Plan Review Comments for 101 W. 33rd Street – Marco Polo

1. As of today, July 7, 2022 there are outstanding Site Review items. Building construction plans cannot be released for construction until all Site Review items have been approved.
2. I've attached the City's addressing plan. Please use these numbers for the units..
3. Please submit the Specifications Manual, if applicable.
4. Please label all drawings "For Construction".
5. Please submit all SWPPP forms and documents, if applicable, if you haven't already done so.
6. Please show the ADA parking spaces as being compliant with Rule 68.104 (TCA) / House Bill 3163.
7. Please add a note - Any changes to the plans during construction need to be approved by the architect and/or engineer of record and the City. The changes will need to be submitted as an amended set of construction documents. See Section 107.4 of the 2015 IBC.
8. Please contact the New Services Assistant at Bryan Texas Utilities (BTU – the local power company) 979-821-5770 to set up a new project if you haven't already done so.
9. Sheet G000
 - a. Please list all deferred submittals on the Cover/Title Sheet. If there are no deferred submittals, please make a statement on the Cover/Title Sheet that there are no deferred submittals. Deferred submittals include fire sprinkler drawings, truss drawings, metal building drawings, etc. Please ensure all disciplines have any relevant deferred submittals on the list.
 - b. Deferred Submittals – Please add a note that the Fire Sprinkler/Fire Alarm Drawings need to be submitted to the Fire Marshal's Office (414 Lawrence Street, Bryan, Texas,

77801 or Marc McFeron, Fire Marshal, mmcferon@bryantx.gov or Kimberly Frederick, kfrederick@bryantx.gov).

- c. Applicable Codes - Please use and reference the 2015 International Codes, the 2020 NEC, the Federal Fair Housing Act and Bryan's Amendments to the adopted codes.
- d. Sprinklers (Section 903 Automatic Sprinkler Systems) – Please call out a 13-R system.
- e. 1020.4 Dead Ends - Please call out a 13-R system.
- f. Please make a note for the following to be in the attic space: Fire walls, fire barriers, fire partitions, etc. or any other wall required to have protected openings or penetrations shall be identified with signs or stenciling. See Section 703.5 of 2015 IBC.
- g. Please add a table showing how you're meeting the Federal Fair Housing Act. Please call out the number of Type A and Type B units.

10. Sheet G001

- a. Please enlarge these layouts – you may need to add a sheet. The separations between the units are hard to see.
- b. Please ensure you don't need to provide any separation between the ceiling on the third floor and the attic space. Will the area between the ceiling (on the 3rd floor) and roof deck be sprinklered?
- c. Please ensure you don't need to provide draftstopping every two units or 3,000 SF.
- d. Occupant Load Table – Please round the numbers up.

11. Structural Sheets

- a. Please add your Texas Firm Registration Number to the title block.

12. Sheet S0.0

- a. Please send a list of any deferred submittals to the Architect so that those items may be placed on the Deferred Submittals list on the Cover Sheet. Please include "third party inspections" as a deferred submittal.
- b. FYI – Please submit third party inspections as they are done not all at once at the end of the project.
- c. Foundation Design Criteria – Please submit an electronic copy of the Geotechnical Report done by Dudley Engineering, Report Number 22-00109 and dated April 27, 2022.

12. Sheets S0.2 and S0.3

- a. There's a callout for Detail / Section 6A on Sheet A500 but there isn't a detail 6A on that sheet.

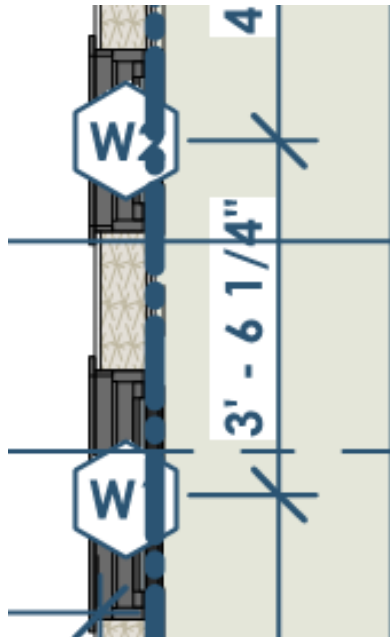
13. Sheet S0.4

- a. There's a callout for Detail / Section 1A on Sheet A504 but there isn't a detail 1A on that sheet.

14. Sheets A101, A102 and A103

- a. NOT A CODE ISSUE: Have you considered stacking the washer and dryer? It might free up some much needed storage space. You won't be able to do it in all of the units because of the location of the water heater but you might be able to do it in several units.
- b. Please ensure the area of the openings on the east wall does not exceed the amount allowed by Table 705.8.

- c. Please differentiate the windows on the east wall (however you choose to show it) to ensure the windows installed are rated.
- d. Please ensure you don't need guards on the exterior windows on the second and third floors on the east and west sides of the building.
- e. Please add an interior wall detail for each interior wall type. The detail will need to show from the finished floor to the bottom of the ceiling / roof deck. Please call out stud spacing, materials, etc.
- f. Please show the location of the water heaters.
- g. Please relocated either the window callouts or the detail boxes.

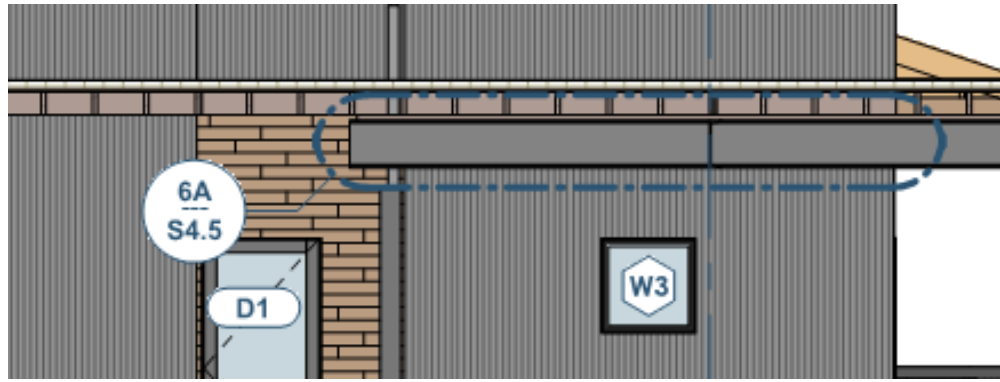


16. Sheet A150

- a. Please show the lighting fixture layout.
- b. Please enlarge these plans.

17. Sheet A301

- a. You might consider moving these callouts because in the black and white sheets, they're getting lost in the exterior materials.



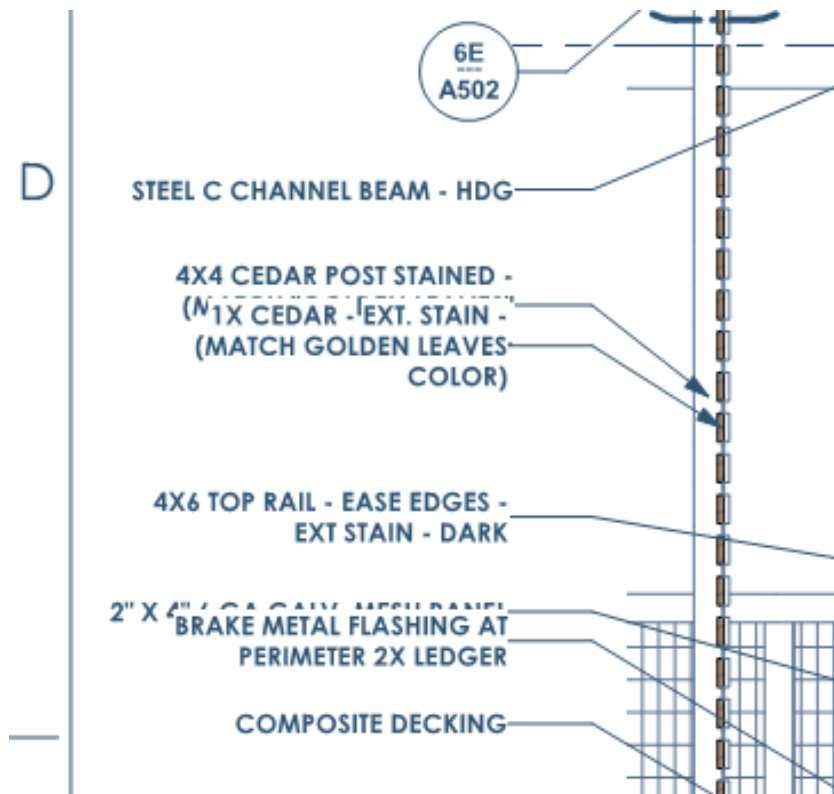
18. Sheets A400, A401 and A402

- a. Please call out the R-value.
- b. Please call out the stud spacing.

19. Sheet A410

- a. 3A – Stair Section - There are several references to Section 6E on Sheet A502 but there isn't a Section 6E on that sheet. It may need to be revised to Sheet A503.
- b. Will the shop drawings for the prefab stairs be a deferred submittal? We will need more dimensions on the stairs.
- c. Please clean up this text –





20. Sheets A470, A471 and A472

- a. Please dimension the kick / toe space at the bottom of the cabinets.

21. Sheet A471

- a. 6D – Elevation – There is a reference to Sections 5D and 6D on Sheet A450 but that sheet is not part of the City's set of plans. It may need to be revised to Sheet A751.

22. Sheet A600

- a. Please differentiate the windows on the east wall (however you choose to show it) to ensure the windows installed are rated.

23. MEP Sheets

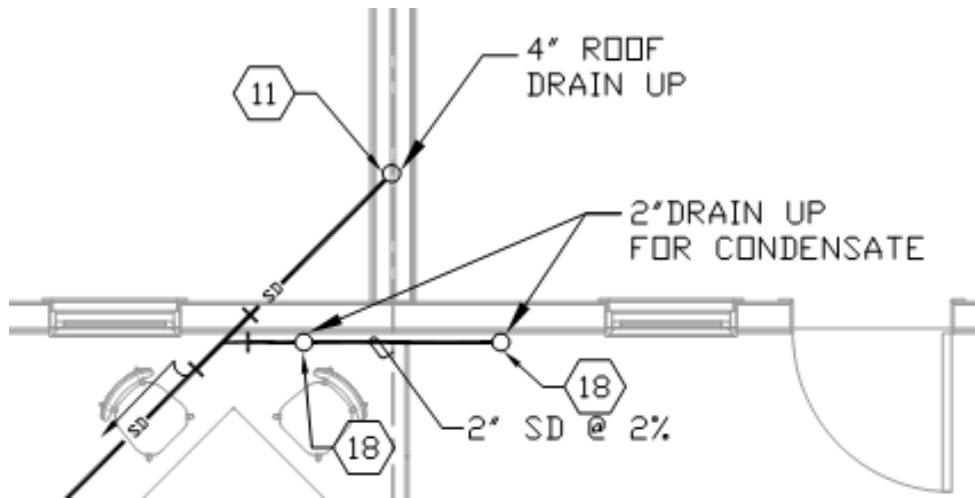
- a. Please add your Texas Firm Registration Number to the title block.
- b. Please use and reference the 2015 International Codes, 2020 NEC and Bryan's Amendments to the adopted codes.
- c. Please send a list of any deferred submittals to the architect so they may be placed on the Cover Sheet with the rest of the deferred submittals.
- d. Please make a note on the appropriate details that all condensate must be routed to the sanitary sewer. The roof drains may be routed to the storm sewer but condensate must be routed to the sanitary sewer.
- e. Please note on electrical plans the maximum available fault current per Article 110.24 of the 2020 NEC. Needs to include date the calculation was made. Required

for service equipment marking in the field by electrical contractor. This can be a deferred submittal just makes sure it's on the Cover with the other deferred submittals.

f. Backflow test report by a city approved certified tester is required to be submitted to Development Services at time of plumbing final and for Certificate of Occupancy issuance per Section 122-60 of Article 122 of City Ordinance. A copy of a list of approved certified backflow testers is available from the city upon request.

24. Sheet P101

- a. You may use trap guards if you prefer.
- b. Condensate needs to be routed to the sanitary sewer.
- c. Have you considered putting in a floor drain in the restrooms in only the ADA units? Since there doesn't appear to be any roll-in showers, the floor may get more water.
- d. Note 11 has to do with a ball valve for a hose bib.



25. Sheet P201

- a. Please clean up this text –



- b. Detail 10 – Please utilize an RPZ and add a HUB drain to the floor sink.

26. Sheet E100

a. Please show tamper resistant receptacles where required by Code per Article 406.12 of the 2020 NEC.

27. Sheet E104

a. Please update the title.

28. Sheet E300

a. Please show a tamper resistant receptacle in the legend.

For your resubmittal, if you will submit an electronic copy of the revised set along with a response to comments, I will go through that (you can just reply to this email). Once I've gone through the electronic submittal and everything looks ok, I'll send you an email telling you that you're good to print and then you can send me the paper copy to stamp to have onsite.

Please let me know if you have any other questions.

Karen Lahde

Certified Commercial Plans Examiner

City of Bryan, Development Services

979-209-5010 – Phone

979-209-5035 – Fax

www.bryantx.gov

klahde@bryantx.gov

Please tell us how we are doing by taking our two minute survey: www.bryantx.gov/dev-survey



20220610 - 101 W 33rd - Issued for Permit - Drawing Set.pdf

13295K