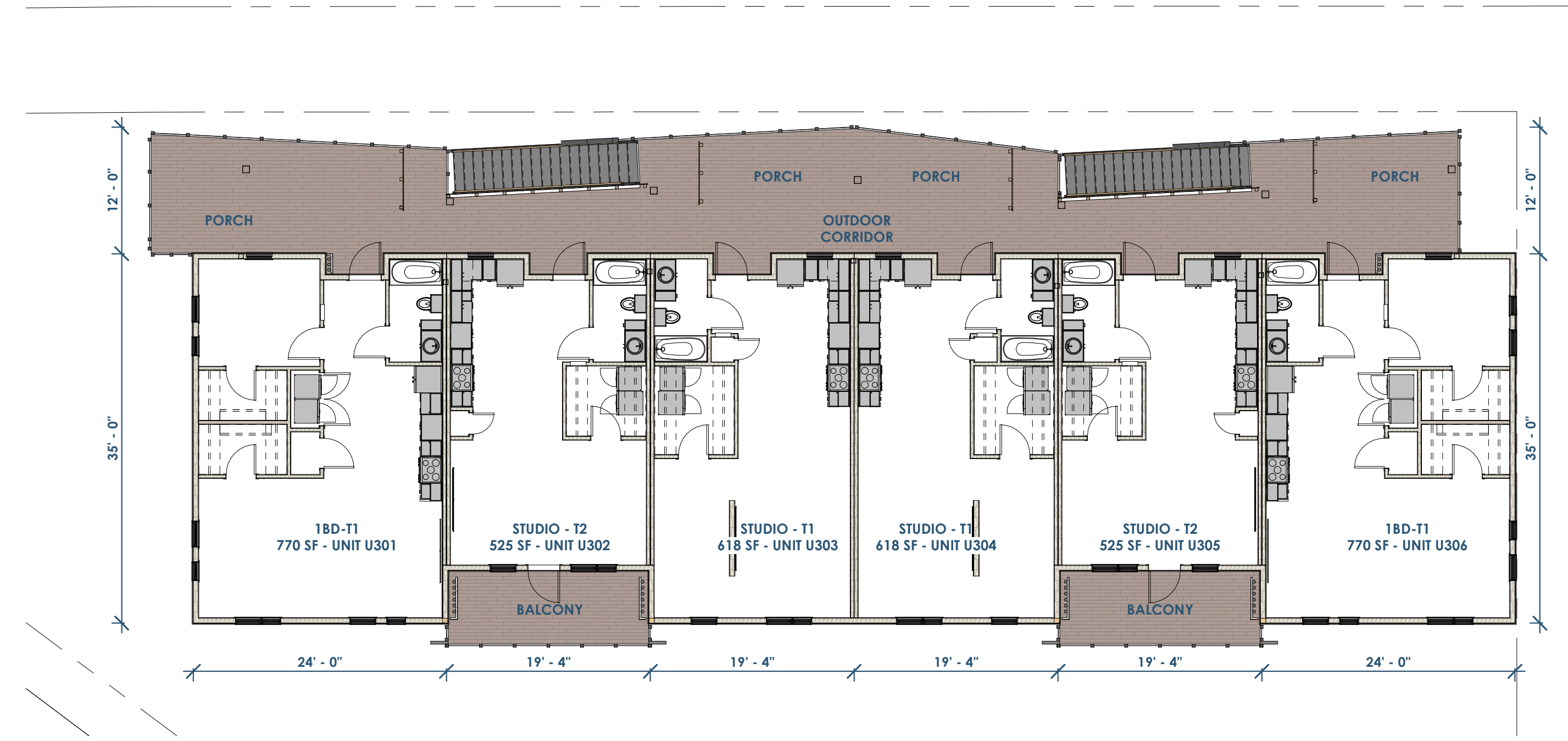
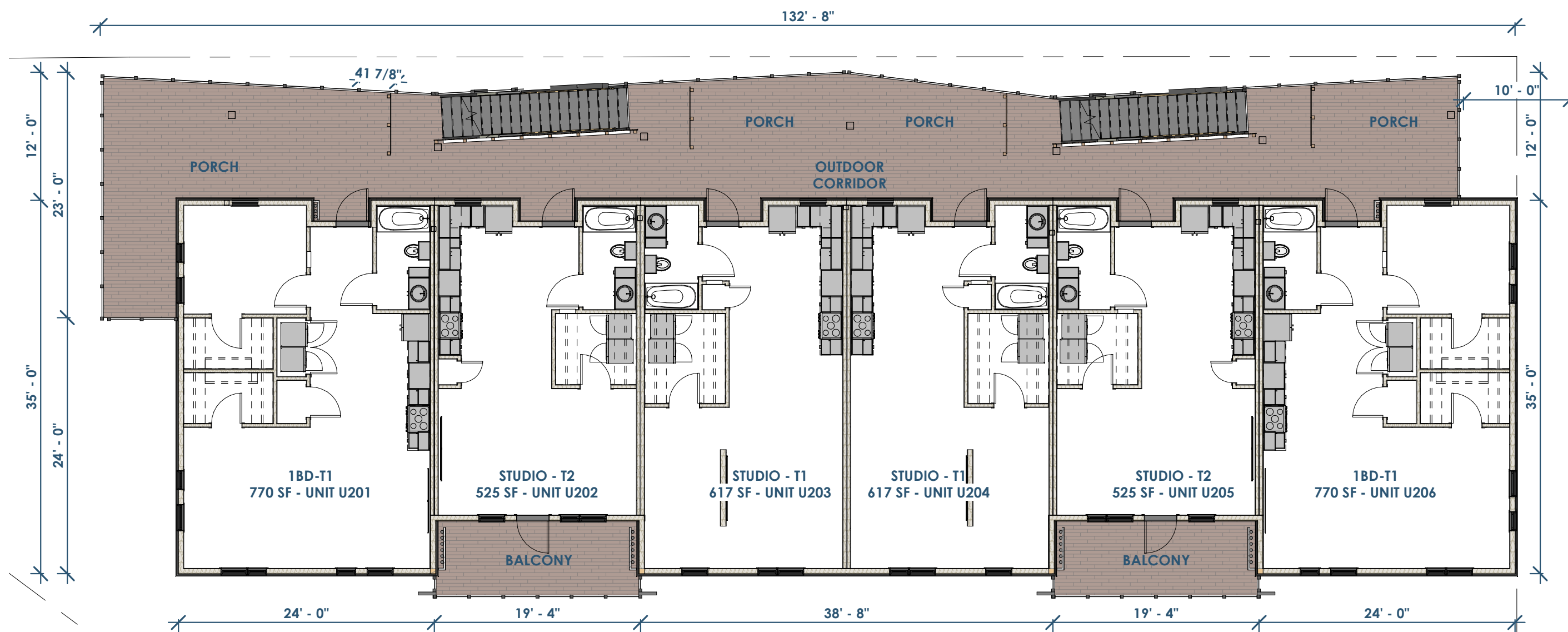


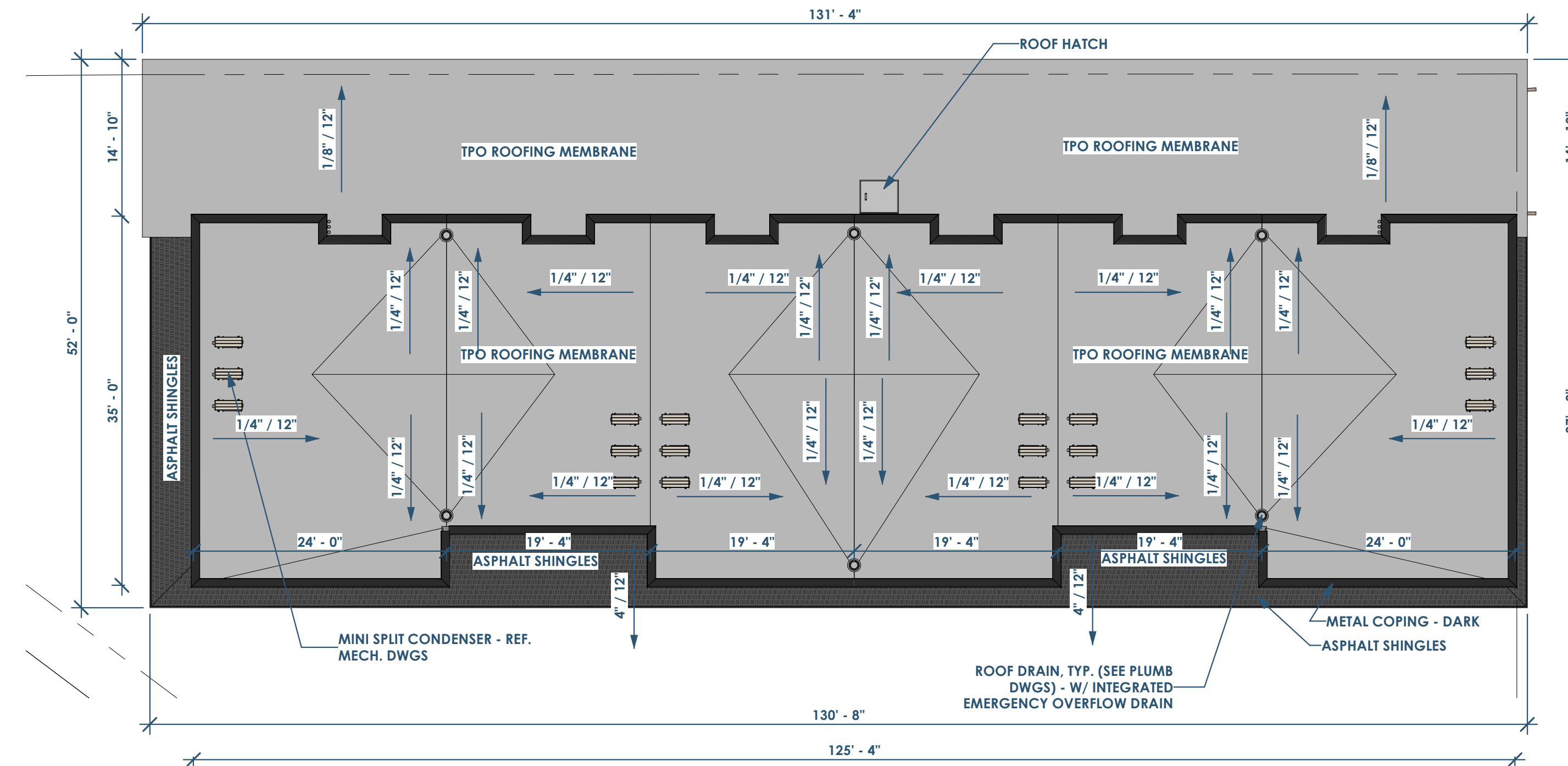
5B A11 FLOOR PLAN - 1ST  
1" = 10'-0"



3B A11 FLOOR PLAN - 3RD  
1" = 10'-0"



5A A11 FLOOR PLAN - 2ND  
1" = 10'-0"



3A A11 FLOOR PLAN - ROOF  
1" = 10'-0"



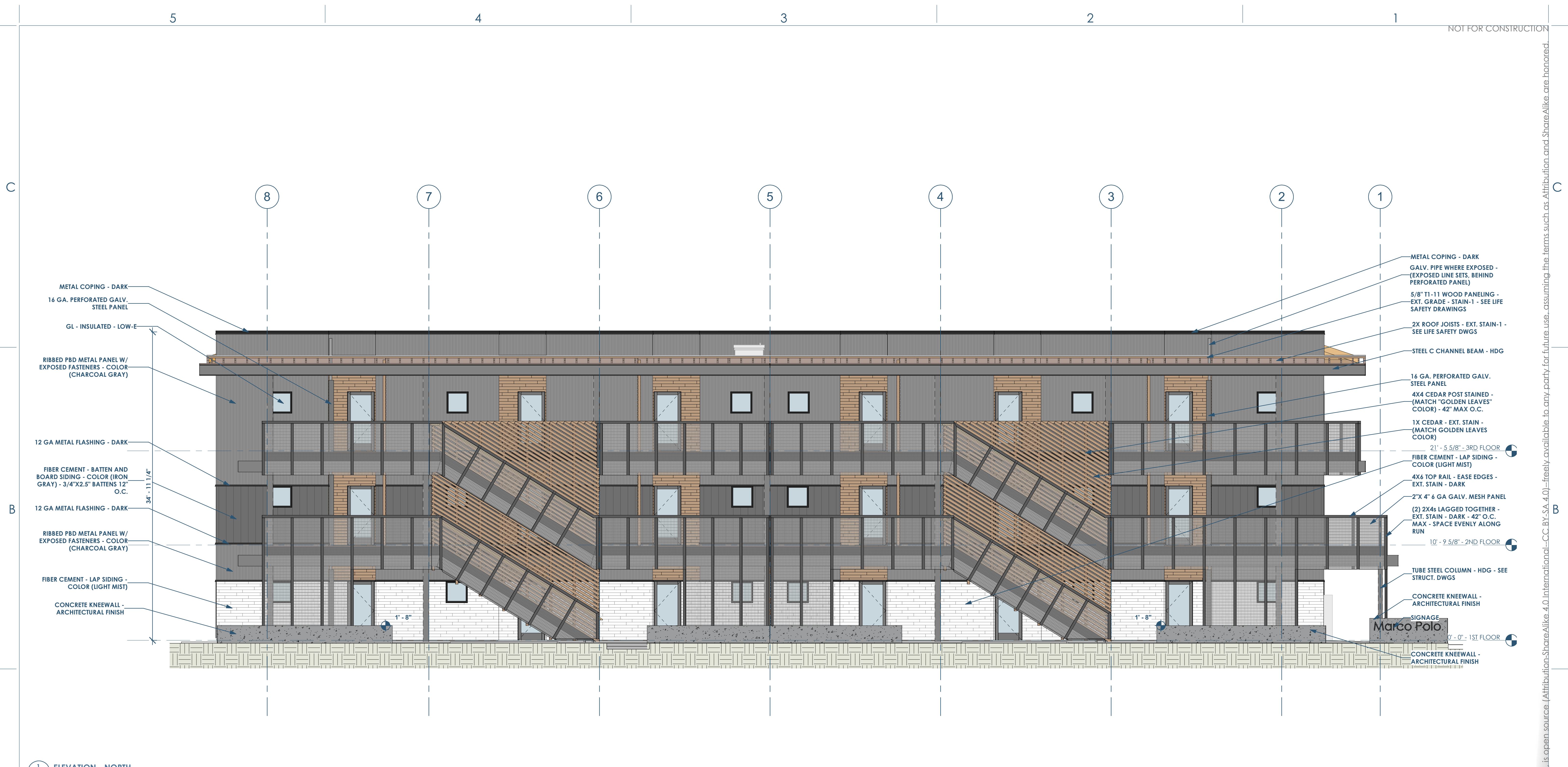
Owner: Renovation Wranglers  
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FLOOR PLANS - 06.21.2022  
MARCO POLO - 101 W 33RD STREET - CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY  
BRYAN, TX 77803



1 A20 ELEVATION - NORTH  
3/16" = 1'-0"



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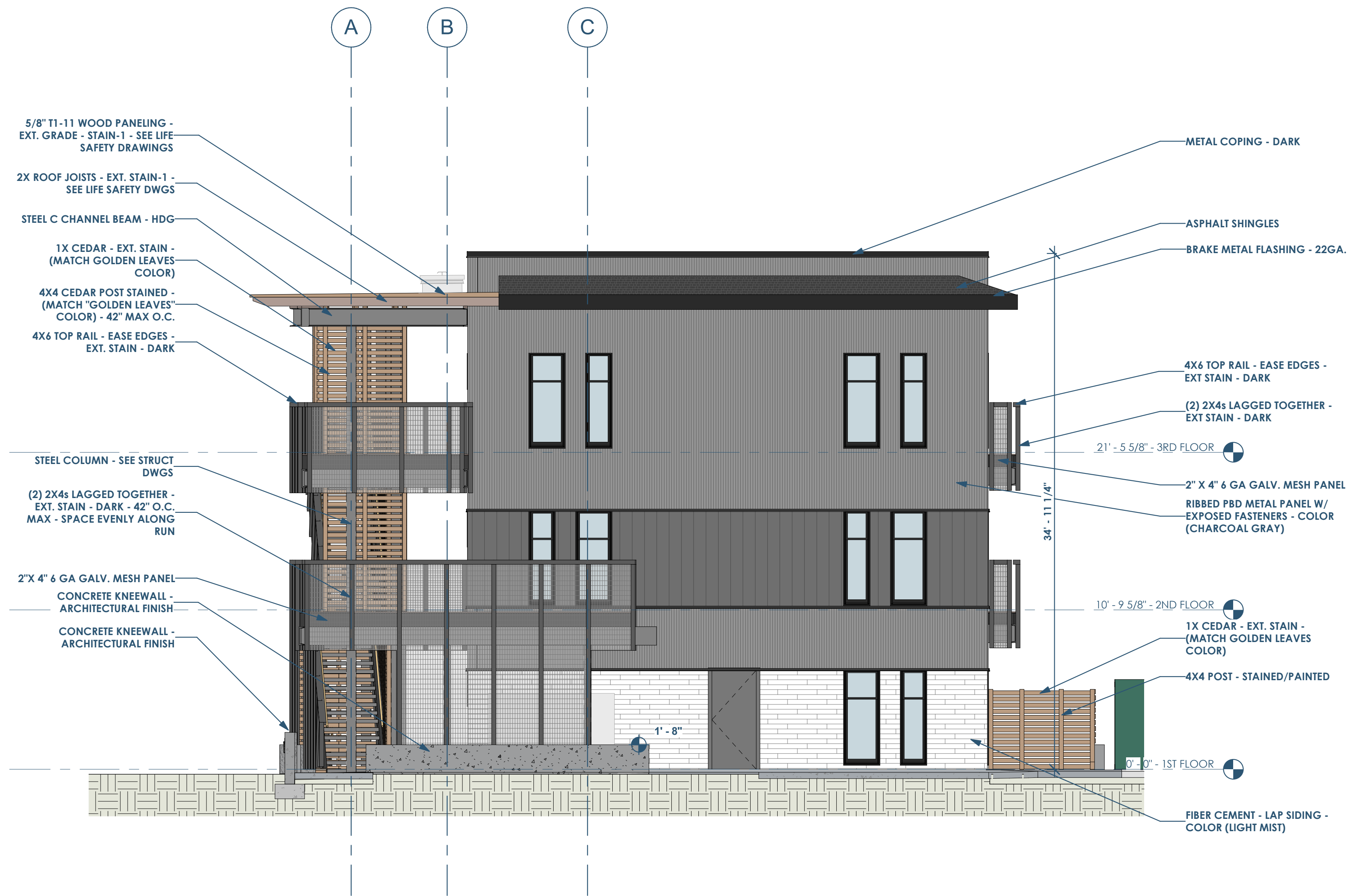
BUILDING ELEVATION - NORTH - 06.21.2022  
MARCO POLO - 101 W 33RD STREET - CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY  
BRYAN, TX 77803

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C

B

A



1  
A21  
ELEVATION - WEST  
3/16" = 1'-0"



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BUILDING ELEVATION - WEST - 06.21.2022  
MARCO POLO - 101 W 33RD STREET - CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY  
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1  
A22  
ELEVATION - SOUTH  
3/16" = 1'-0"



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BUILDING ELEVATION - SOUTH - 06.21.2022  
MARCO POLO - 101 W 33RD STREET - CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY  
BRYAN, TX 77803

5

4

3

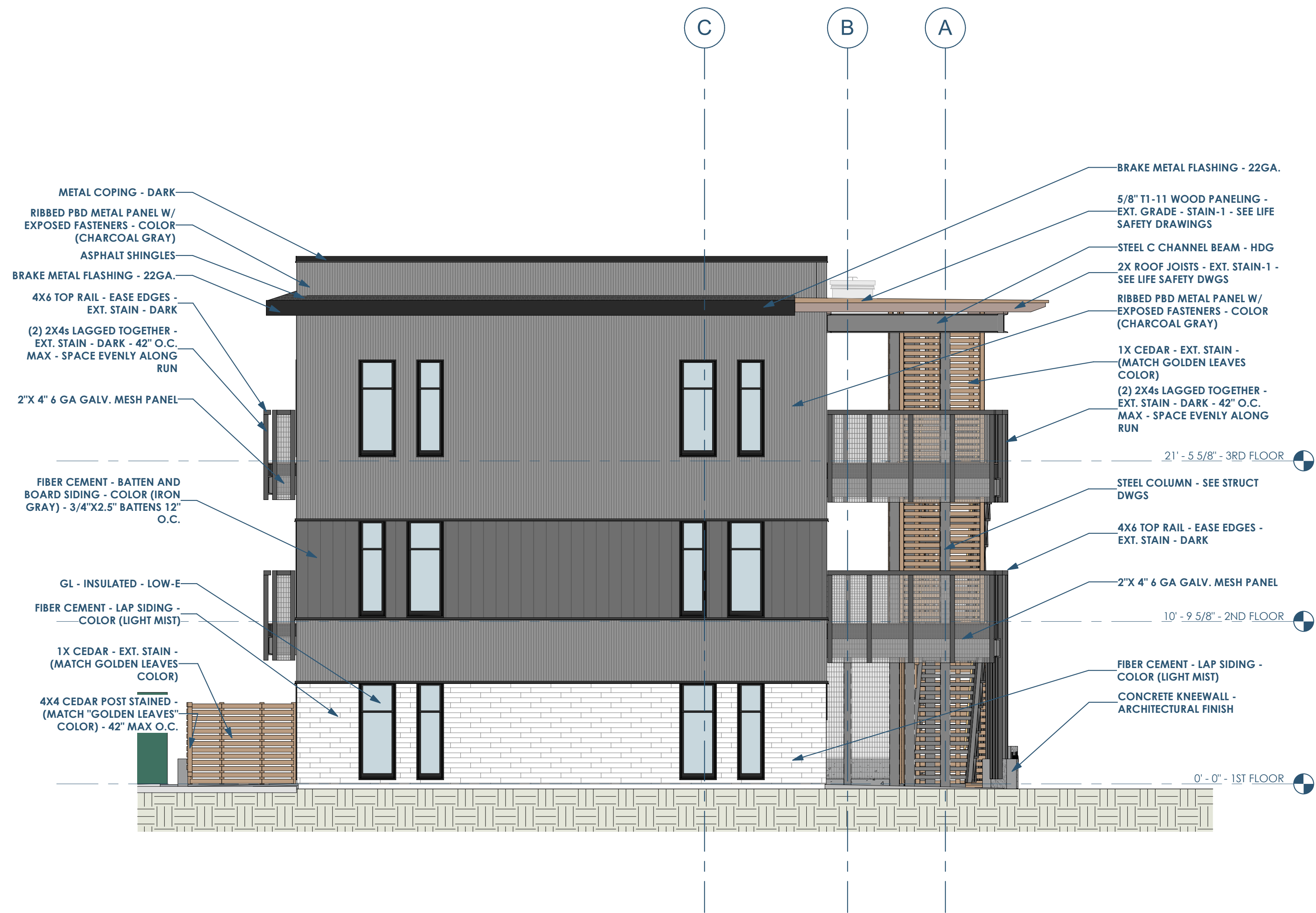
2

1

C

B

A



1 ELEVATION - EAST  
A23 3/16" = 1'-0"



Owner: Renovation Wranglers  
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BUILDING ELEVATION - EAST - 06.21.2022  
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A23

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| FACADE MATERIAL TAKE OFF  |         |
|---|---------|
| MATERIAL NAME   | AREA    |
| FIBER CEMENT - BATTEN AND BOARD SIDING - COLOR (IRON GRAY) - 3/4"X2.5" BATTENS 12" O.C. | 177 SF  |
| FIBER CEMENT - LAP SIDING - COLOR (LIGHT MIST)  | 185 SF  |
| GL - INSULATED - LOW-E  | 228 SF  |
| RIBBED PBD METAL PANEL W/ EXPOSED FASTENERS - COLOR (CHARCOAL GRAY)                     | 767 SF  |
| FACADE - EAST   | 1357 SF |
| 1X CEDAR - EXT. STAIN - (MATCH GOLDEN LEAVES COLOR)                                     | 414 SF  |
| FIBER CEMENT - BATTEN AND BOARD SIDING - COLOR (IRON GRAY) - 3/4"X2.5" BATTENS 12" O.C. | 698 SF  |
| FIBER CEMENT - LAP SIDING - COLOR (GOLDEN LEAVES)                                       | 668 SF  |
| FIBER CEMENT - LAP SIDING - COLOR (LIGHT MIST)  | 861 SF  |
| GL - INSULATED - LOW-E  | 163 SF  |
| GL - TEMPERED - INSULATED - LOW-E   | 474 SF  |
| RIBBED PBD METAL PANEL W/ EXPOSED FASTENERS - COLOR (CHARCOAL GRAY)                     | 2987 SF |
| FACADE - NORTH  | 6264 SF |
| TPO ROOFING MEMBRANE  | 4126 SF |
| FACADE - ROOF   | 4126 SF |
| 1X CEDAR - EXT. STAIN - (MATCH GOLDEN LEAVES COLOR)                                     | 429 SF  |
| FIBER CEMENT - BATTEN AND BOARD SIDING - COLOR (IRON GRAY) - 3/4"X2.5" BATTENS 12" O.C. | 493 SF  |
| FIBER CEMENT - LAP SIDING - COLOR (GOLDEN LEAVES)                                       | 757 SF  |
| FIBER CEMENT - LAP SIDING - COLOR (LIGHT MIST)  | 630 SF  |
| GL - INSULATED - LOW-E  | 1130 SF |
| GL - TEMPERED - INSULATED - LOW-E   | 263 SF  |
| RIBBED PBD METAL PANEL W/ EXPOSED FASTENERS - COLOR (CHARCOAL GRAY)                     | 2600 SF |
| FACADE - SOUTH  | 6303 SF |
| FIBER CEMENT - BATTEN AND BOARD SIDING - COLOR (IRON GRAY) - 3/4"X2.5" BATTENS 12" O.C. | 170 SF  |
| FIBER CEMENT - LAP SIDING - COLOR (LIGHT MIST)  | 185 SF  |
| GL - INSULATED - LOW-E  | 190 SF  |
| RIBBED PBD METAL PANEL W/ EXPOSED FASTENERS - COLOR (CHARCOAL GRAY)                     | 761 SF  |
| FACADE - WEST   | 1306 SF |



2" X 4" 6GA. GALV. MESH PANEL



CONCRETE WALL - ARCHITECTURE FINISH



IRON GRAY



CHARCOAL GRAY



HOT DIPPED GALVANIZED STEEL



COLOR: LIGHT MIST



COLOR: GOLDEN LEAVES

### Design Narrative

- A building's massing should serve to emphasize entry points and help orient pedestrians.
  - The main entry is articulated and emphasized by a cantilevered porch that wraps around the northeast corner of the building. Along with providing a unique entry point, this covered area provides a sheltered area around the mailboxes. Along with further defining the area, the proposed concrete kneewalls offer impromptu seating as well.
- Buildings and/or façades should emphasize, frame, or terminate important vistas.
  - It's relatively safe to say that the current site along the mid block of W 33rd Street, near the railroad, does not currently possess any important vistas. Nonetheless, we have tried to create a design that activates the street. Measures include providing an open air porch and staircase where the building's activity can be on display, so to speak, from a passerby's perspective.
- Variations in the rhythms within individual building façades should be achieved within any block of building façades with architectural elements such as bays, columns, doors, windows, etc.
  - The three story, open air porch, alone, introduces a notable level of variation and depth to the façade, but we feel this is further punctuated by the louvered walls that periodically separate the open air stairs and tenant's private balconies along the length of the building.
- Breaks in the predominant rhythm may also be used to reinforce changes in massing and important elements such as building entrances, terminated vistas, or corner sites.
  - As mentioned above, the predominant rhythm of columns and railings along W 33rd St. culminates in a unique massing of cantilevers at the building's northeast corner.
- Porches, stoops, eaves, awnings, blade signs, arcades, colonnades and balconies should be used along commercial storefronts and they may protrude within the setback range, provided that they do not inhibit pedestrian movement within a sidewalk area or clear zone.
  - Although commercial storefronts are planned for the 2nd phase building along S. Bryan Ave, this 1st phase includes only residential tenants. Nonetheless, as mentioned above, the design still includes a variety of porches, stoops, and colonnades to help activate the street.



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SCHEDULES & COLORS - 06.21.2022

MARCO POLO - 101 W 33RD STREET - CITY OF BRYAN TOWNSITE, BLOCK 96, LOT 3-5 & PT OF 6 & PT OF ALLEY

BRYAN, TX 77803

A60

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RENDERINGS - 06.21.2022  
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